



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: April 8, 2015 REPORT NO. HO 15-044

ATTENTION: Hearing Officer

SUBJECT: ROBINSON RESIDENCE  
PTS PROJECT NUMBER: 366991

LOCATION: 808 San Antonio Place

APPLICANT: THE ROBINSON FAMILY TRUST, Owner/Permittee.

### SUMMARY

Issue(s): Should the Hearing Officer approve a 1-story addition to an existing single-family residence within the Peninsula Community Plan area?

Staff Recommendation(s) – **APPROVE** Coastal Development Permit No. 1305347.

Community Planning Group Recommendation – On June 11, 2014, the Peninsula Community Planning Board voted 10-0-0 to recommend approval of the proposed project with no conditions (Attachment 7).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. This project was determined to be categorically exempt from the California Environmental Quality Act on March 4<sup>th</sup>, 2015 and the opportunity to appeal that determination ended March 18<sup>th</sup>, 2015 (Attachment 8).

### BACKGROUND

The 7,985-square-foot project site is located at 808 San Antonio Place in the RS-1-7 zone, Coastal Overlay Zone (Appealable), First Public Roadway and Coastal Height Limit Overlay Zones, within the Peninsula Community and Local Coastal Program Land Use Plan area (Attachment 1). The project site is legally described as a portion of Pueblo Lot 177, according to Miscellaneous Map No. 36, filed in the Office of the County Recorder of San Diego County, on November 14, 1921. Designated for single-family residential land use, the project site is located within the La Playa neighborhood of the Peninsula Community Plan and Local Coastal Program

(Attachment 2). Adjacent land use and existing development to the north, east, south and west is comprised of custom one and two-story single-family homes. On its western boundary the property fronts the Rosecrans Street public right-of-way, however vehicular access to the site is on the eastern portion of the lot through a private drive which extends south from the San Antonio Terrace public right-of-way. The site lies approximately 1/2 block west of San Diego Bay and is mapped as being located between the sea and first public roadway paralleling the sea (Attachment 3). An existing 6-foot wall with an entry gate was recently constructed and sits along the property line fronting Rosecrans Street. Pursuant to SDMC Section 142.0310, solid fences or walls located in a required yard which abuts a major street, primary arterial, or freeway (such as Rosecrans Street) are permitted up to 6 feet in height if there is at least one horizontal or vertical offset for every 120 square feet of fence area.

San Diego Municipal Code (SDMC) Section 126.0704(a) allows improvements to existing structures to be exempt from the requirement to obtain a Coastal Development Permit under certain conditions. Previous construction work on the home in 2013 for an addition and remodel (including exterior window/door replacements and modifications) qualified for an exemption from the need to obtain a coastal development permit, and Building Permit No. 1081644 was issued March 7, 2013, under PTS 309002.

The proposed construction requires a Coastal Development Permit with the Hearing Officer as decision maker (Process 3) pursuant to San Diego Municipal Code (SDMC) Section 126.0702 due to the project's location within the coastal overlay zone, and because the proposed project represents a 10 percent or less increase of interior floor area where an improvement to the structure had previously been exempted. The decision of the Hearing Officer is appealable to the Planning Commission and the California Coastal Commission.

## DISCUSSION

The project proposes to construct a one-story, 169-square-foot addition to an existing 3,242-square-foot, two-story, split-level design single-family home. The portion of the home fronting Rosecrans Street is constructed as a single level, and the structure steps down the sloped lot and becomes a two-story home as viewed from the rear of the property. The proposed addition will be located at the southwestern corner of the house and will create a new walk-in closet area for the master bedroom. The home is one-story in the area of the addition and the new construction will tie into the existing roofline at approximately 11'-0" in height. The addition will align with the existing home, observing a 6-foot side-yard setback along the south property line, and will observe a 15-foot front yard setback from the Rosecrans Street public right-of-way. The architectural style of the addition will match that of the existing home.

The proposed project complies with all of the underlying zone regulations including setbacks, building height and floor area ratio and no deviations are required. The development is consistent with the recommendations of the Peninsula Community Plan and Local Coastal Program (PCP/LCP) which designates the site for single-family residential development. The

PCP/LCP does not designate the site as having a public physical accessway, nor is it designated as having a proposed accessway or a public view corridor.

### CONCLUSION

Staff has determined that the project complies with the development regulations of all applicable sections of the Land Development Code. Staff has determined that the required findings can be made as the project meets the applicable San Diego Municipal Code regulations and requirements. Staff recommends approval of the project as proposed.

### ALTERNATIVE

1. Approve Coastal Development Permit No. 1305347, with modifications.
2. Deny Coastal Development Permit No. 1305347, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

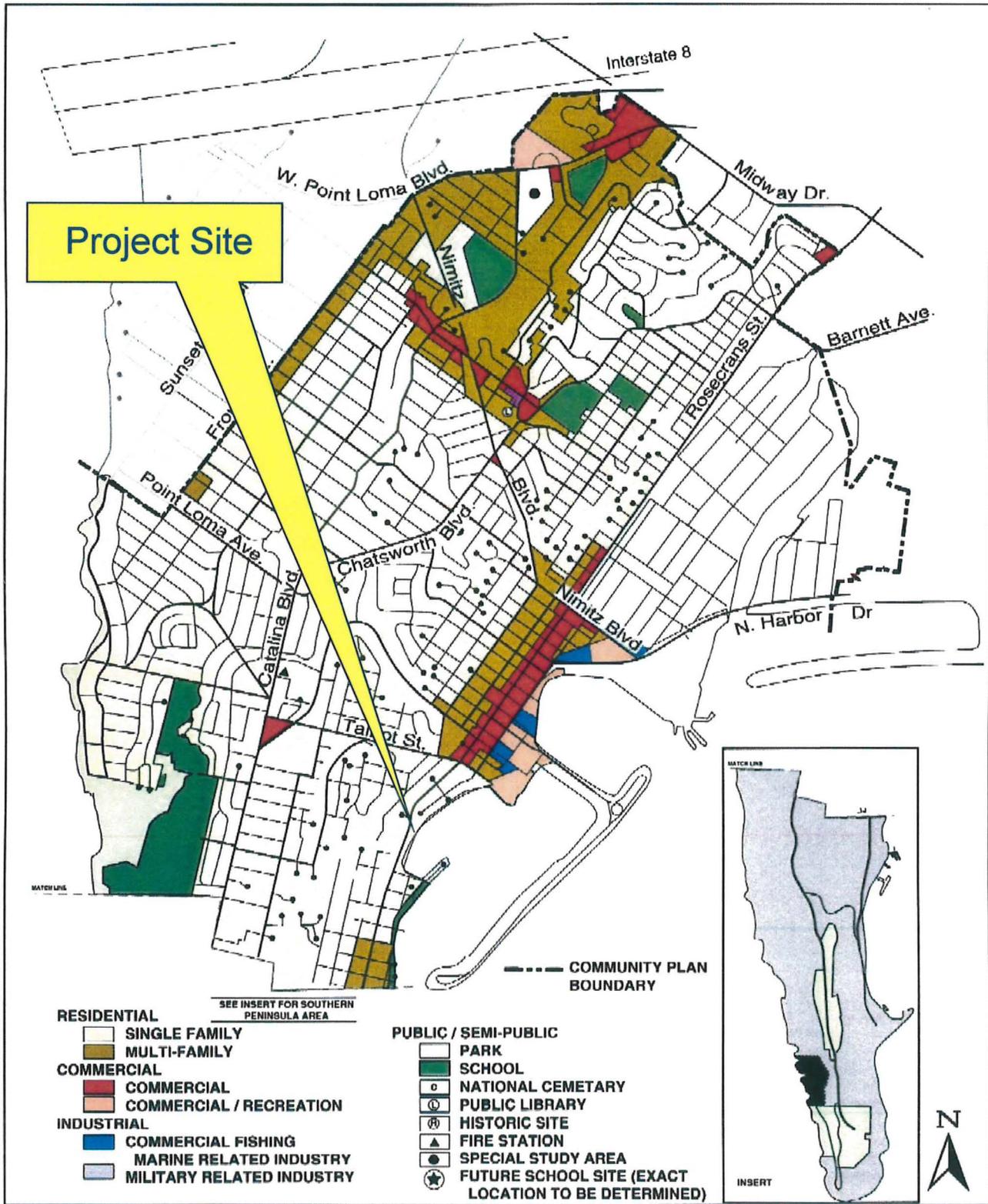


Patricia J. FitzGerald, Development Project Manager

### Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Community Group Recommendation
8. CEQA Exemption
9. Ownership Disclosure Statement
10. Project Site Plans





# Peninsula Land Use Map



# Project Location Map



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Robinson Residence	
<b>PROJECT DESCRIPTION:</b>	A 169-square-foot addition to an existing 3,242-square-foot single story single dwelling unit to create a new master bedroom closet area.	
<b>COMMUNITY PLAN AREA:</b>	Peninsula	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit (Process 3)	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Single-Family Residential	
<b><u>ZONING INFORMATION:</u></b> <b>ZONE:</b> RS-1-7: (Single-Family) <b>HEIGHT LIMIT:</b> 30-Foot maximum height limit <b>LOT SIZE:</b> 5,000 square-foot minimum lot size <b>FLOOR AREA RATIO:</b> 0.57 maximum <b>FRONT SETBACK:</b> 15 ft minimum/20 ft standard <b>SIDE SETBACK:</b> 5 ft minimum <b>STREETSIDE SETBACK:</b> 6.5 feet <b>REAR SETBACK:</b> 13 feet <b>PARKING:</b> 2 spaces required		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Single-Family Residential; RS-1-7	Single-Family Residential
<b>SOUTH:</b>	Single-Family Residential; RS-1-7	Single -Family Residential
<b>EAST:</b>	Single-Family Residential; RS-1-7	Single -Family Residential
<b>WEST:</b>	Single-Family Residential; RS-1-7	Single -Family Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On June 11, 2014, the Peninsula Community Planning Board voted 10-0-0 to recommend approval of the proposed project with no conditions.	

HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. 1302074  
**ROBINSON RESIDENCE - PROJECT NO. 366991**

WHEREAS, HANK S. ROBINSON AND LAURIE A. ROBINSON, TRUSTEES OF THE ROBINSON FAMILY TRUST, Owner/Permittee, filed an application with the City of San Diego for a permit to construct an addition to an existing single family home (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1302074), on portions of a 7,985-square-foot site; and

WHEREAS, the project site is located at 808 San Antonio Place in the RS-1-7 zone, Coastal Overlay Zone (Appealable), First Public Roadway and Coastal Height Limit Overlay Zones, within the Peninsula Community Plan and Local Coastal Program Land Use Plan area; and

WHEREAS, the project site is legally described as a portion of Pueblo Lot 177, according to Miscellaneous Map No. 36, filed in the Office of the County Recorder of San Diego County, on November 14, 1921; and

WHEREAS, on April 8, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1302074, pursuant to the Land Development Code of the City of San Diego; and

WHEREAS, on March 4, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301(Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 8, 2015.

FINDINGS:

**Coastal Development Permit – SDMC Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to construct a one-story, 169-square-foot addition to an existing 3,242-square-foot, two-story, split-level design single-family home on private property. The project site does not contain any existing physical access way utilized by the general public. Existing coastal access in the area will not be affected by the project in any way as all development will occur on private property and will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a local coastal program land use plan. The project site is not located on or adjacent to an identified visual access corridor, and by limiting construction to one-story in height, the proposed addition will enhance and protect public views to and along the ocean and other scenic coastal areas as specified within the Peninsula Community Plan and Local Coastal Program (PCP/LCP).

**2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project proposes to construct a one-story, 169-square-foot addition to an existing 3,242-square-foot, two-story, split-level design single-family home on private property. The project was determined to be exempt from environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(1) (Existing Facilities). The site does not contain nor is it adjacent to environmentally sensitive lands, and therefore, will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project proposes to construct a one-story, 169-square-foot addition to an existing 3,242-square-foot, two-story, split-level design single-family home on private property. The Peninsula Community Plan and Local Coastal Program (PCP/LCP) designates the project site for single-family residential land use and the project density is consistent with this designation. The proposed development is reflective of the architectural design and scale characteristic of the project vicinity, and is consistent with the General Plan and PCP/LCP goals encouraging neighborhood "compatibility and continuity". The proposed project complies with the RS-1-7 zone and applicable regulations of the Land Development Code; conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and are incorporated into Coastal Development Permit No. 1302074. The proposed coastal development is in conformity with the PCP/LCP and complies with all regulations of the certified Implementation Program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site lies between Rosecrans Street, considered the nearest public roadway, and San Diego Bay, considered a shoreline of a body of water located within the Coastal Overlay Zone.

The new construction will occur entirely on private property and is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1302074, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1302074, a copy of which is attached hereto and made a part hereof.

---

Patricia J. FitzGerald  
Development Project Manager  
Development Services

Adopted on: April 8, 2015

Job Order No. 24004598

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
CITY CLERK  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004598

**COASTAL DEVELOPMENT PERMIT NO. 1302074**  
**ROBINSON RESIDENCE - PROJECT NO. 366991**  
**HEARING OFFICER**

This Coastal Development Permit is granted by the Hearing Officer of the City of San Diego to HANK S. ROBINSON AND LAURIE A. ROBINSON, TRUSTEES OF THE ROBINSON FAMILY TRUST, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0701. The site is located at 808 San Antonio Place in the RS-1-7 zone, Coastal Overlay Zone (appealable), First Public Roadway and Coastal Height Limit Overlay Zones, within the Peninsula Community Plan area. The project site is legally described as a portion of Pueblo Lot 177, according to Miscellaneous Map No. 36, filed in the Office of the County Recorder of San Diego County, on November 14, 1921.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct an addition to an existing single family home as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 8, 2015, on file in the Development Services Department.

The project shall include:

- a. Construction of a 169-square-foot, 1-story addition to an existing 3242-square-foot, one-story, single family residence;
- b. Off-street parking facilities providing a total of two (2) parking spaces;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by (tbd).
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

**ENGINEERING REQUIREMENTS:**

11. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

12. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into construction plans or specifications.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

**LANDSCAPING REQUIREMENTS:**

14. Any existing landscape to remain, as indicated on the approved plans, that is damaged during construction shall be replaced in kind to the satisfaction of the Development Services Department within 30 days of damage or final inspection.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 8, 2015 and HO-\_\_\_\_.

**ATTACHMENT 6**

Permit Type/PTS Approval No.: CDP No. 1302074

Date of Approval: April 8, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

---

Patricia J. FitzGerald  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

---

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

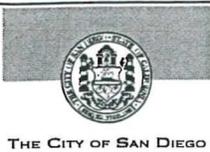
Owner/Permittee

By \_\_\_\_\_  
HANK S. ROBINSON  
TRUSTEE OF THE ROBINSON FAMILY TRUST

Owner/Permittee

By \_\_\_\_\_  
LAURIE A. ROBINSON  
TRUSTEE OF THE ROBINSON FAMILY TRUST

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101

## Community Planning Committee Distribution Form Part 2

<b>Project Name:</b> Robinson CDP	<b>Project Number:</b> 366991	<b>Distribution Date:</b> 06/11/2014
--------------------------------------	----------------------------------	-----------------------------------------

**Project Scope/Location:**  
 PENINSULA, Coastal Development Permit (Process 3) for a 251sq ft addition to an existing 1544 sq ft single story single dwelling unit to create a new master bedroom. New 6' Concrete Masonry Unit fence at property line in on Rosecrans St. located at 808 San Antonio Place in the RS-1-7 zone in the Peninsula community plan, Council District 2 Notice Card 1

<b>Applicant Name:</b> Hank Robinson	<b>Applicant Phone Number:</b> (858) 414-4135
-----------------------------------------	--------------------------------------------------

<b>Project Manager:</b> PJ Fitzgerald	<b>Phone Number:</b> (619) 446-5107	<b>Fax Number:</b> (619) 446-5245	<b>E-mail Address:</b> PFitzgerald@sandiego.gov
------------------------------------------	----------------------------------------	--------------------------------------	----------------------------------------------------

**Committee Recommendations (To be completed for Initial Review):**

<input checked="" type="checkbox"/> Vote to Approve <i>MARK KRONEK / JAY SHUMAKER</i>	Members Yes <i>10</i>	Members No <i>0</i>	Members Abstain <i>—</i>
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below <i>MARK KRONEK / JAY SHUMAKER</i>	Members Yes <i>10</i>	Members No <i>0</i>	Members Abstain <i>0</i>
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)	<input type="checkbox"/> Continued		

**CONDITIONS:**

<b>NAME:</b> DONALD E. SEVRENS	<b>TITLE:</b> SECRETARY
<b>SIGNATURE:</b> <i>Donald E. Sevens</i>	<b>DATE:</b> 10/09/14

*Attach Additional Pages If Necessary.*

Please return to:  
 Project Management Division  
 City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 302  
 San Diego, CA 92101

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).  
 Upon request, this information is available in alternative formats for persons with disabilities.

NOTICE OF EXEMPTION

(Check one or both)

TO: X Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2422
Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

PROJECT TITLE/ NO.: ROBINSON CDP / 370400

PROJECT LOCATION-SPECIFIC: 808 San Antonio Place, San Diego, CA 92106

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Coastal Development Permit for a 250.59-square-foot first floor addition to an existing 3,242.25-square-foot, two story, single-dwelling residence. The project is located at 808 San Antonio Place. Then land use designation for the project site is Single Family Residential per the community plan. Furthermore, the project is located within the RS-1-7 zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (appealable area), the Parking Impact Overlay Zone (Coastal Impact Area), and the Federal Aviation Administration Part 77 (SDIA-Lindbergh Field and NAS-North Island) within the Peninsula Community Plan and Local Coastal Program Land Use Plan area. (APN No. 532-322-03-00).

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: John Haffner, Monarch Ventures LLC, 18207 McDermott, Suite H, Irvine, CA 92164, (949) 224-1802

EXEMPT STATUS: (CHECK ONE)

- ( ) MINISTERIAL (SEC. 21080(b)(1); 15268)
( ) DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
( ) EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
(X) CATEGORICAL EXEMPTION: 15301 (Existing Facilities)
( ) STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review that determined that the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15301 which allows for the operation, repair, maintenance, permitting, licensing, or minor alteration of existing facilities (public or private) involving negligible or no expansion of use beyond that existing at the time determination. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: E. Shearer-Nguyen

TELEPHONE: (619) 446-5369

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
( ) YES ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

[Signature] SENIOR PLANNER
SIGNATURE/TITLE

March 4, 2015
DATE OF PROJECT APPROVAL

CHECK ONE:

- (X) SIGNED BY LEAD AGENCY
( ) SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



City of San Diego  
**Development Services**  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title** Robinson Project **Project No. For City Use Only** \_\_\_\_\_

**Project Address:**  
808 San Antonio Place

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print):  
Hank Robinson  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: 808 San Antonio PL  
 City/State/Zip: San Diego CA 92120  
 Phone No: 619 414-4135 Fax No: \_\_\_\_\_  
 Signature: [Signature] Date: 4/4/14

Name of Individual (type or print):  
Laurie Robinson  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: 808 San Antonio PL  
 City/State/Zip: San Diego CA 92120  
 Phone No: 619-414-4135 Fax No: \_\_\_\_\_  
 Signature: [Signature] Date: 4/4/14

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

This project shall comply with all requirements of the Municipal Permit issued by San Diego Regional Water Quality Control Board (SDRWQCB) and Municipal Storm Water National Pollution Discharge Elimination System (NPDES) Permit on January 24, 2007 ([http://www.swrcb.ca.gov/water\\_issues/programs/stormwater/construction.shtml](http://www.swrcb.ca.gov/water_issues/programs/stormwater/construction.shtml)) and the City of San Diego Land Development Code (<http://docs.sandiego.gov/municode/MuniCodeChapter14/Ch14Art02Division02.pdf> and Storm Water Manual (<http://www.sandiego.gov/development-services/pdf/news/stormwatermanual.pdf>)

Notes below represent key minimum requirements for construction BMP's.

- The contractor shall be responsible for cleanup of all silt and mud on adjacent street(s), due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMP's which may compromise Storm Water Quality within any street(s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
- All stockpiles of soil and/or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when five day rain probability forecast exceeds 40%.
- A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
- The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breach in effectiveness.
- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
- The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

GENERAL NOTES 05/26/14

- ALL BOUNDARY AND SETBACK INFORMATION SHOWN ON THESE PLANS HAVE BEEN COMPILED AT COUNTY ASSESSOR OFFICE AND CITY OF SITE PLANNING DEPT. IT IS THE RESPONSIBILITY OF PROPERTY OWNER TO VERIFY EXACT LOT LINES AND TO AUTHORIZE LOT SURVEY IF THERE IS ANY QUESTION OF PROPERTY LINE LOCATIONS. FENCES DON'T ALWAYS SHOW EXACT PROPERTY LINES. SETBACKS ARE FROM PROPERTY LINE TO EXTERIOR FINISH WALLS OF NEW BUILDINGS.
- BUILDERS SHALL PROTECT THE WORK AND ALL ADJACENT PROPERTY FROM LOSS AND DAMAGE RESULTING FROM CONSTRUCTION.
- ON DRAWING DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED. ALL TRADES SHALL VERIFY ALL CONDITIONS AT THE JOBSITE PRIOR TO CONSTRUCTION AND NOTIFY CONFLICTS OR DISCREPANCIES TO GENERAL CONTRACTOR OR BUILDER BEFORE PROCEEDING WORK.
- NO CONCENTRATED DRAINAGE SHALL FLOW OVER ADJACENT PROPERTY LINES. WALL SHALL DRAIN AWAY FROM STRUCTURES A MIN. 5 FEET AT 2% AND BE CONVEYED TO APPROVED DRAINAGE FACILITY.
- THE PROPERTY OWNER SHALL BEAR ALL EXPENSES ASSOCIATED WITH DISCOVERY AND DISPOSITION OF ANY TOXIC WASTE OR HAZARDOUS MATERIALS (IDENTIFIED BY THE STATE OF CALIFORNIA) ENCOUNTERED DURING COURSE OF CONSTRUCTION.
- BUILDER TO VERIFY ALL CONDITIONS IN FIELD SUCH AS ROOF PITCH, EXIST. GRADES, OVERHANG SIZES, RAFTER & FLOOR SIZE AND DIRECTION. IF NEW TRUSSES ARE TO BE USED VERIFY EXISTING EXISTING RAFTER SIZE TO VERIFIED AND MATCHED. PRIOR TO TRUSS ORDER BUILDER SHALL VERIFY SPAN AND PITCH IN FIELD.
- ALL DIMENSIONS ARE FROM EXTERIOR FINISH WALL TO EXTERIOR WALL. ADJUST FOR FINISH THICKNESS INCLUDING SHEAR PANEL ETC. FOUNDATION WORK SHALL BE ADJUSTED TO ALLOW FOR EXTERIOR FINISH & SHEAR PANEL.
- NO BUSTOPS IN IMMEDIATE.
- EXISTING GRADES SHOWN ON PLAN (ELEVATIONS) ARE EXISTING AND UNCHANGED UNLESS OTHERWISE NOTED.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-00-6 (UFC 901.4.4)

SHEET INDEX:

- A-1 SITE PLAN
- A-1.1 LEGAL DESCRIPTION
- A-1.2 WATER STUDY
- A-2 MAIN FLOOR PLAN
- A-3 LOWER FLOOR PLAN
- A-5 EXTERIOR ELEV.
- A-6 EXTERIOR ELEV.
- A-7 SECTIONS (PROFILE)

4. Pursuant to SDMC 142.0310 Solid fences located on the front or street side property line shall not exceed 3 feet in height except as provided in Section 142.0310(c)(1)(C). However Solid fences located in a required yard that abut a major street, primary arterial, or freeway, such as Freeways, are permitted up to 6 feet in height if there is at least one horizontal or vertical offset for every 120 square feet of fence area. The offset shall be at least 12 inches wide with a minimum reveal of 4 inches. See Diagram 142-03B. Demonstrate compliance for the fence wall located along Rosecrans. (New Issue)

5. Call out the heights (from grade) for all retaining walls and patio structure at the rear of the property. Fences and walls shall comply with fence regulations LDC, Section 142.0301. Also, provide the height of the wall along the side property line (from grade to top of wall). (New Issue)

6. On the Site Plan, call out any structures (such as retaining walls, fences, stairs) within the setback areas. Indentify/label out the height from grade and materials. (New Issue)

7. The required setback is .08 of the lot width. Per SDMC Section 113.0243(b), lot width is measured along an imaginary straight line drawn at right angles to the lot depth line, between the side lot lines at the point midway between the front and rear property lines. Diagram 113-02Y illustrates how to measure lot depth and width. Provide the lot width on the Site Plan, and call out the setback to the structure. (New Issue)

10. Prior to the issuance for any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

(New Issue)

11. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

- 2013 CALIFORNIA RESIDENTIAL CODE (BASED ON 2012 IRC)
- 2013 CALIFORNIA ELECT. CODE (BASED ON 2012 NEC)
- 2013 CALIFORNIA PLUMBING CODE (BASED ON 2012 UPC BY IAMPO)
- 2013 MECHANICAL CODE (BASED ON 2012 UMC BY IAMPO)
- 2013 CALIFORNIA GREEN BUILDING CODE
- 2013 FIRE CODE (BASED ON 2012 IFC)
- 2008 EDITION OF THE CALIFORNIA CODE OF REGULATIONS (TITLE 24)

LEGAL DESCRIPTION  
ZONE RS 1-7  
A.P.N.===532-322-03-00  
LOT (PORTION) 177 SEE SHEET 1.1  
SUB. PUEBLO LANDS  
MAP 36

LAND AREA====7985.25 S.F.  
EXIST. LIV.  
MAIN FLOOR====1698.21 S.F.

LOWER FLOOR:  
EXIST. LIV.===788.45 S.F.  
EXIST. GAR. ==755.59 S.F.  
LOWER FLOOR AREA====1544.04 S.F.

NEW LIV. AREA====169.12 S.F.  
TOTAL FLOOR AREA====3411.37 S.F.

FAR==44% (57% MAX. ALLOWED)

NO GRADING IS PROPOSED  
OUTSIDE OF FOOTPRINT OF ADDITION  
EXIST. PATIO/DECK AREA = 1,082 sq ft

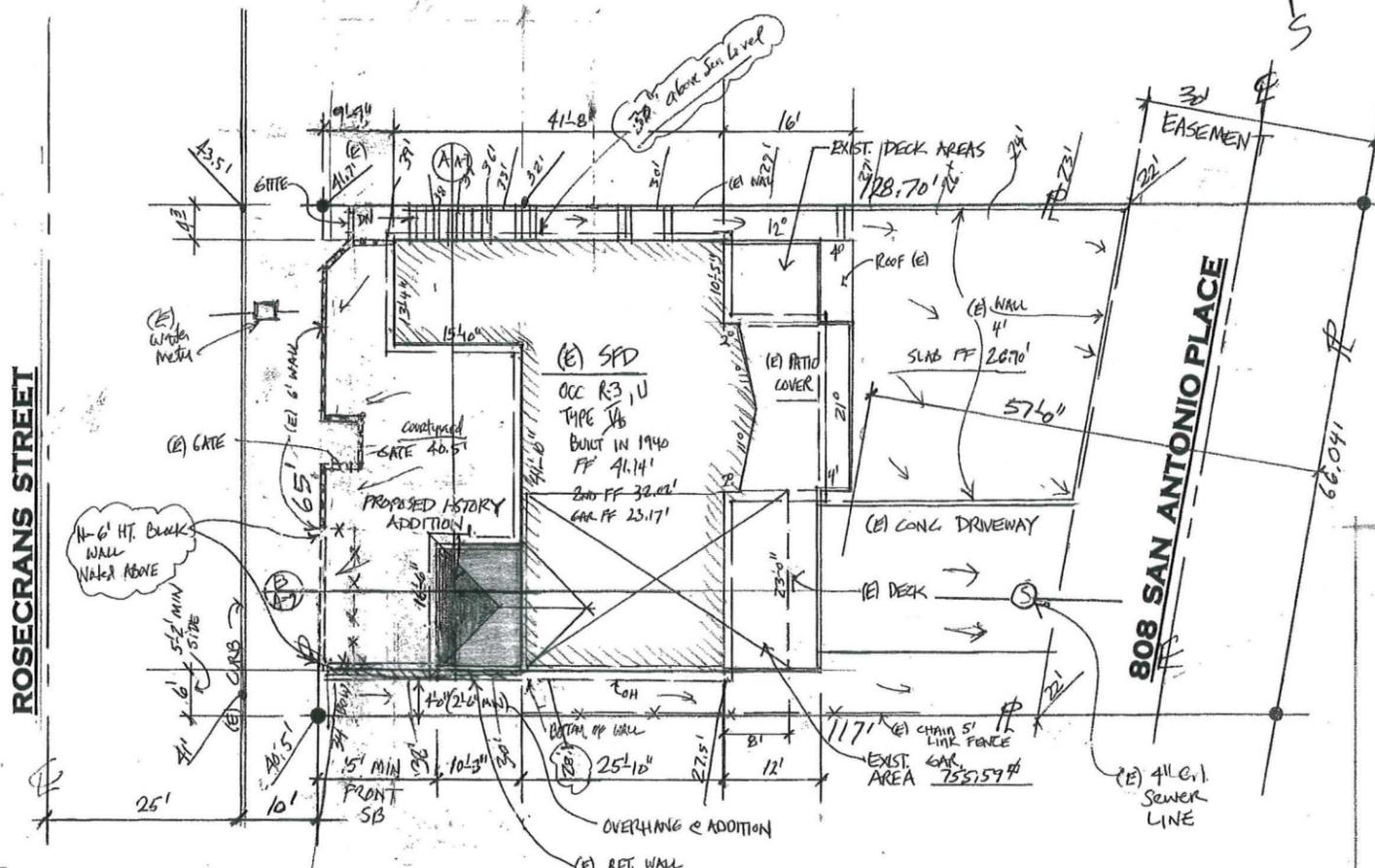
TYPE OF CONSTRUCTION Vb  
OCCUPANCY R-3, U  
GEO HAZARD CATEGORY 52  
YEAR HOUSE WAS BUILT 1940  
NON-SPRINKLERED  
BULLET POINT NARRATIVE >:  
\* REQUEST COASTAL DEVELOPMENT PERMIT #366991  
\* PROVIDE 1 STORY ADDITION 162.26 sq MAS, BED WALK-IN CLOSET AND MASTER BATH EXTENSION, AND ADD 1/2 BATH NEAR ENTRY.

PLANS BY:

NAME: DAVID HEDGECOCK	REVISION-11
ADDRESS: 6510 CARTWRIGHT ST	REVISION-10
CITY, STATE SAN DIEGO, CA 92120	REVISION-9 1/19/15
PHONE: 619-255-4673	REVISION-8 12/26/14
PROJECT ADDRESS: 808 SAN ANTONIO PLACE	REVISION-7 7/20/14
SAN DIEGO, CA 92106	REVISION-6 9/17/14
	REVISION-5 5/26/14

OWNER'S NAME: HANK ROBINSON	REVISION-4 4/10/14
MAILING: 808 San Antonio Place	REVISION-3 10/21/13
SAN DIEGO, CA 92106	REVISION-2 8/21/13
PHONE: (858) 414-4135	REVISION-1 12/11/12
	ORIGINAL DATE 6/18/12

SHEET TITLE	SHEET A-1 OF
SITE PLAN	DEPOSIT #



SITE PLAN

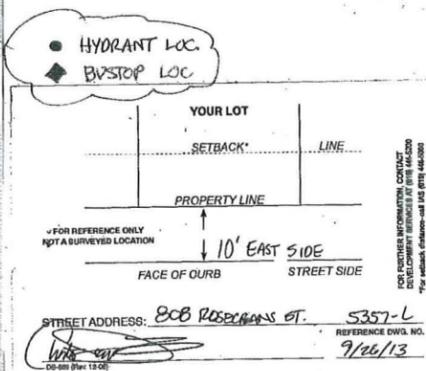
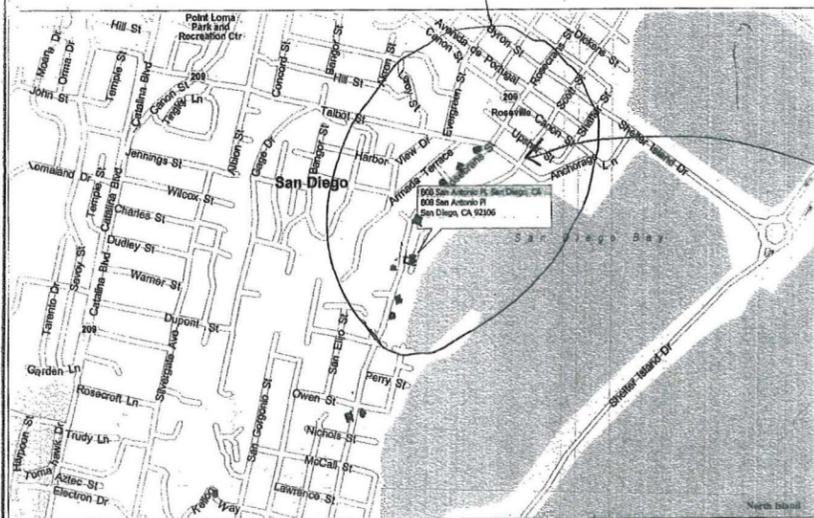
SCALE 1"=10'

LEGEND

- IMPERVIOUS AREA ON LOT = 7433 sq ft
- X--- 6' WD FENCE (E) TO BE REMOVED,
- ==== (E) 6' BLOCK WALL
- ==≡≡ NEW 6' BLOCK WALL WHEN ADDITION IS BUILT.
- TOP GRADE OBTAINED FROM PREVIOUS DRAWN PLAN BY RON SELF ARCHITECT.

THE STRUCTURE WILL BE LOCATED ON ENTIRELY ON UNDISTURBED NATIVE SOIL.

OWNER:  
IF BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.



**City of San Diego**  
Development Services Department  
San Diego, CA 92161  
Tel: 619-441-3000

**"Minor" Water Pollution Control Plan (MWPCP)** FORM DS-570 October 2012

**HWPCP REQUIREMENTS**  
The City requires a Water Pollution Control Plan (WPCP), a Minor Water Pollution Control Plan (MWPCP) or a Storm Water Pollution Prevention Plan (SWPPP), for all construction projects that have potential for storm water pollution. Some construction project types, such as interior plumbing, electrical and mechanical work, may be considered exempt. The appropriate plan is determined by the following guidelines:

- Any project subject to the Construction General Permit (CGP) (typically projects with 1 acre or more of ground disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP. If coverage under the CGP (Permit which requires a SWPPP) is not required for the project, see below.
- The following approval types (see Form DS-570) require a WPCP: Grading, Public Right-of-Way, and Demolition/Removal. Exceptions may be made allowing use of this MWPCP for minor work.
- The following approval types (see Form DS-570) require a WPCP whenever a substantial for Drainage and Grades review is required. Exceptions may be made allowing use of this MWPCP for minor work.
- This MWPCP may be utilized for projects that create less than 5,000 sq ft of ground disturbance and have less than a 2% elevation differential over the entire project area.

**NOTE:** It is the responsibility of the project owner to ensure that all construction activities comply with local and state regulations, including San Diego Municipal Code, Sec. 41.08. The guidelines and templates provided here are for the applicant's convenience and do not alleviate responsibility on part of the project owner to determine the appropriate level of BMP planning and implementation to prevent pollutant discharges.

**STEP 1. IDENTIFY RELEVANT PROJECT INFORMATION**

Project Name: **366991**  
Applicant Name: **Frank Robinson** Contact Name: **Frank Robinson**  
Company: **Frank Robinson**  
Address: **808 San Antonio Pl, San Diego, CA 92106**  
City: **San Diego** State: **CA** Zip Code: **92106**  
Phone: **619-444-4135** E-mail Address:  
Project Information:  
Address: **808 San Antonio Pl, San Diego, CA 92106**  
City: **San Diego** State: **CA** Zip Code: **92106**  
APN: **532-322-03-00** Permit Application Number:  
Brief Project Description:  
**ADD 1-STORY ADDITION TO SFD 250.574**  
**MRS. BED WALK-IN CLOSET & BATH EXTENSION.**

Improvements (overall square footage): **250.574** Estimate Project Start Date: **10/1/14** Estimate Project Finish Date: **11/1/14**  
Total Lot Size in Sq. Ft.: **7985.85** Estimated Amount of Disturbed Area: **251** Estimated Erosion over entire Project: **9/17/14**

Printed on recycled paper. Visit our web site at [www.sandag.ca.gov/development-services](http://www.sandag.ca.gov/development-services).  
Upon request, this information is available in alternate formats for persons with disabilities.  
DS-570 (10-12)

**City of San Diego • Development Services Department • "Minor" Water Pollution Control Plan (MWPCP)** Page 3 of 3

**TABLE 1**  
MINIMUM REQUIRED STANDARD CONSTRUCTION STORMWATER BMPs  
(Source: CAITRANS Storm Water Quality Handbook)

BMP	Minimum Required	Required
Vegetative Stabilization Planting (Slopes)	SS-4, SS-4	<input checked="" type="checkbox"/>
Hydraulic Stabilization (Hydroseeding)	SS-4	<input type="checkbox"/>
Rocked Fiber Mats or Stabilized Fiber Mats (Winter)	SS-3	<input type="checkbox"/>
Hydraulic Stabilization (Erosion Control Blanket (Winter))	SS-7	<input type="checkbox"/>
Leaf Protection (Winter)	SS-8	<input type="checkbox"/>
Leaf Protection (Winter)	SS-8, SS-8	<input type="checkbox"/>
Energy Dissipator Outlet Protection	SS-10	<input type="checkbox"/>
Stabilized Construction Entrance	TC-1	<input type="checkbox"/>
Retraining Wash Tie Wash	TC-3	<input checked="" type="checkbox"/>
Street Sweeping & Vacuuming	TC-7	<input type="checkbox"/>
Material Delivery & Storage	WM-1	<input type="checkbox"/>
Spill Prevention & Control	WM-4	<input type="checkbox"/>
Concrete Waste Management	WM-6	<input type="checkbox"/>
Solid Waste Management	WM-6	<input type="checkbox"/>
Sanitary Waste Management	WM-9	<input checked="" type="checkbox"/>
Hazardous Waste Management	WM-9	<input type="checkbox"/>

The applicant must print and sign the following certification before a permit will be issued:  
I have read and understand that the City of San Diego has adopted minimum requirements for managing urban runoff, including storm water from construction and post-construction activities. I certify that the BMPs selected on this form will be implemented to minimize the potentially negative impacts of the project's construction and land development activities on water quality. I further agree to install, maintain, monitor, and repair the selected BMPs to ensure their effectiveness. I also understand that non-compliance with the City of San Diego's minimum requirements may result in enforcement by the City of San Diego and other actions.  
Signature: **[Signature]** Date: **9/17/14**

**City of San Diego • Development Services Department • "Minor" Water Pollution Control Plan (MWPCP)** Page 2 of 2

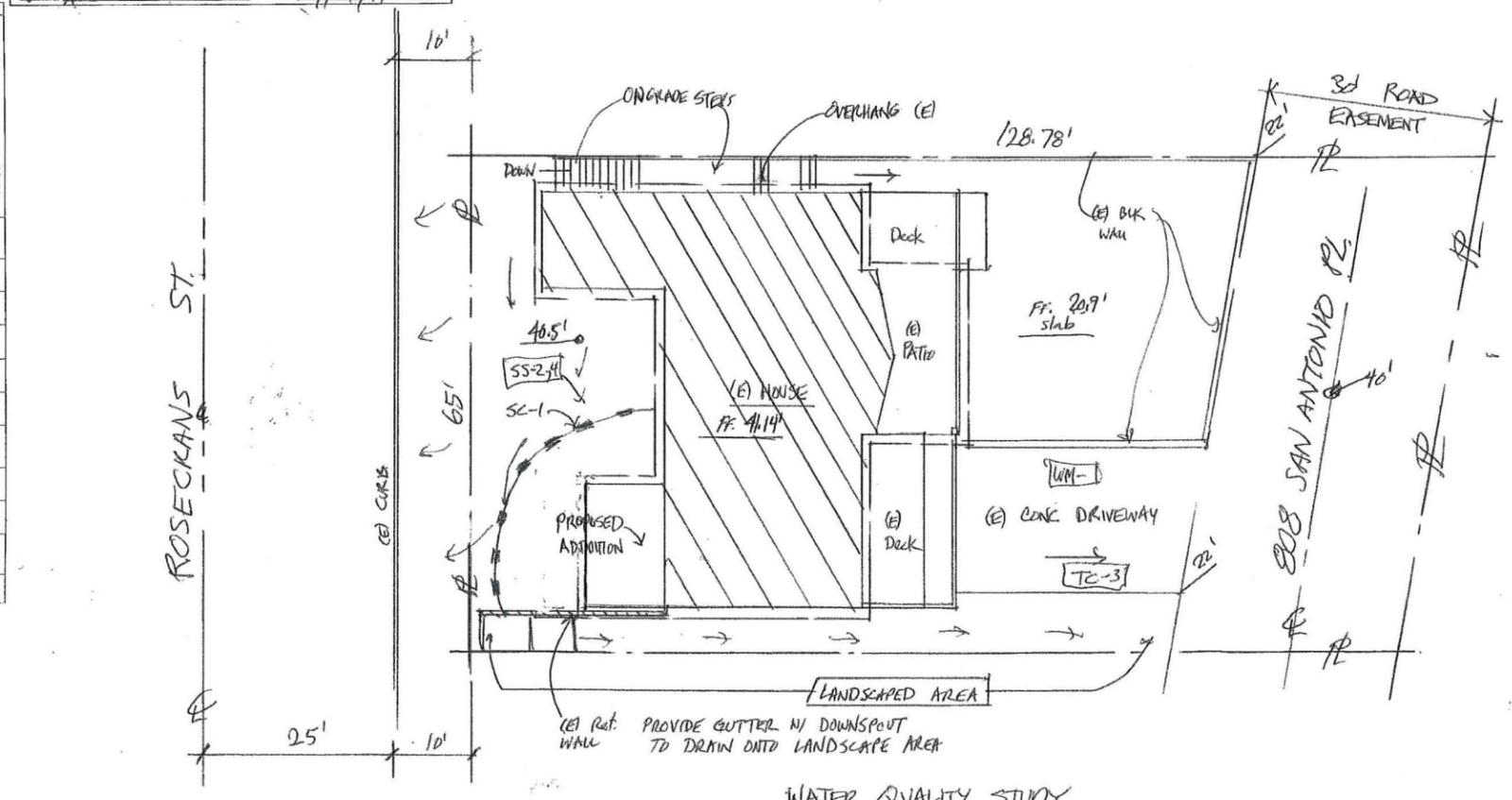
**STEP 2. IDENTIFY CONSTRUCTION STORM WATER BMPs**  
Unprotected construction sites have the potential to discharge sediment and other pollutants into local waterways. All construction projects are required to reduce pollution to the maximum extent practicable by implementing best management practices (BMPs). Sections 5 of the Storm Water Standards Manual outline the requirements for Construction Stormwater BMPs. There are five categories:

- Erosion control practices
- Velocity reduction
- Sediment control practices
- Off-site sediment trapping
- General site and materials management

BMPs from each of the five categories must be used together as a system in order to prevent potential discharges.

If you answer "Yes" to any of the questions below, your project is subject to Table 1 on the following page (Minimum Required Standard Construction Stormwater BMPs). As noted in the table, please select at least the minimum number of required BMPs, or as many as are feasible for your project. If an BMP is selected, an explanation must be given in the box provided. The following questions are intended to aid in determining construction BMP requirements for your project, please check box either "Yes" or "No".

- Will there be soil disturbing activities that will result in exposed soil areas? (This includes minor grading and trenching?)  
Reference Table Items A  Yes  No
- Will there be asphalt paving, including patching?  
Reference Table Items C and E  Yes  No
- Will there be activities from mortar mixing, curing, or concrete saw cutting?  
Reference Table Items C and E  Yes  No
- Will there be solid wastes from concrete demolition and removal, wall construction, or form work?  
Reference Table Items C and E  Yes  No
- Will there be stockpiling (soil, compost, asphalt, concrete, solid waste) for over 24 hours?  
Reference Table Items C and E  Yes  No
- Will there be stockpiling (soil, compost, asphalt, concrete, solid waste) for over 96 hours?  
Reference Table Items C and E  Yes  No
- Will there be temporary on-site storage of construction materials, including mortar mix, raw landscaping and soil stabilization materials, treated lumber, rebar, and plated metal framing materials?  
Reference Table Items C and E  Yes  No
- Will trash or solid waste product be generated from this project?  
Reference Table Item B  Yes  No
- Will construction equipment be stored on site (e.g. fuels, oils, trucks, etc.)?  
Reference Table Item B  Yes  No
- Will Portable Sanitary Services ("Porta-potty") be used on the site?  
Reference Table Item B  Yes  No



**City of San Diego**  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
Tel: 619-550-6000

**Storm Water Requirements Applicability Checklist** DS-570 January 2011

Project Address: **808 San Antonio Pl** Project Number (Per City Use Only):

**SECTION 1. Permanent Storm Water BMP Requirements**  
Additional information for determining the requirements is found in the Storm Water Standards Manual.

**Part A. Determine if Exempt from Permanent Storm Water BMP Requirements.**  
Projects that are operational maintenance, or are otherwise not categorized as "development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not required to install permanent storm water BMPs. If "Yes" is checked for any line in Part A, proceed to Part C and check the box labeled "Exempt Project." If "No" is checked for all of the lines, continue to Part B.

- The project is not a Development Project as defined in the Storm Water Standards Manual for example habitat restoration projects and construction within an existing building.  Yes  No
- The project is only the construction of underground or overhead linear utilities.  Yes  No
- The project qualifies as routine maintenance (repairs or repairs existing surface materials because of failed or deteriorating condition). This includes roof replacement, pavement spot repairs and resurfacing treatments such as asphalt overlay or slurry seal, and replacement of damaged pavement.  Yes  No
- The project only installs sidewalks, bike lanes, or pedestrian ramps on an existing road, and does not change street flow condition to a concentrated flow condition.  Yes  No

**Part B. Determine if Subject to Priority Development Project Requirements.**  
Projects that match one of the definitions below are subject to additional requirements including preparation of a Water Quality Technical Report.  
If "Yes" is checked for any line in Part B, proceed to Part C and check the box labeled "Priority Development Project." If "No" is checked for all of the lines, continue to Part C and check the box labeled "Standard Development Project."

- Residential development of 10 or more units.  Yes  No
- Commercial development and similar non-residential development greater than one acre. High-rise laboratories and other medical facilities, educational facilities, recreational facilities, municipal facilities, commercial nurseries, multi-apartment buildings, car wash facilities, mini-malls and other business complexes, shopping malls, hotels, office buildings, public warehouses, auto/stro dealerships, and other high industrial facilities.  Yes  No
- Heavy industrial development greater than one acre. Manufacturing plants, food processing plants, metal working facilities, printing plants, and steel storage areas.  Yes  No
- Automotive repair shops. Facilities categorized in any one of Standard Industrial Classification (SIC) codes 8114, 8114, 8114, 8114, 7022, 7024, or 7025.  Yes  No
- Restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC code 5812).  Yes  No
- Hillside development greater than 8,000 square feet. Development that creates 8,000 square feet of impervious surface and is located in an area with known erodible soil conditions and where the development and use on any natural slope is a twenty-five percent or greater.  Yes  No
- Water Quality Sensitive Area. Development located within, directly adjacent to, or discharging directly to a Water Quality Sensitive Area (as defined in Appendix C) which the project either creates 2,000 square feet of impervious surface on a proposed project site or increases the area of impervious surface by 10% or more of its naturally occurring condition. "Directly adjacent" is defined as being situated within 200 feet of the Water Quality Sensitive Area. "Discharging directly" is defined as being situated from a drainage conveyance system that is composed entirely of flows from the subject development or redevelopment site, and not conterminous with flows from adjacent lands.  Yes  No
- Parking lot with a minimum area of 8,000 square feet or a minimum of 15 parking spaces and potential exposure to urban runoff (unless it meets the exclusion for parking lot reconfiguration on line 13).  Yes  No

Printed on recycled paper. Visit our web site at [www.sandag.ca.gov/development-services](http://www.sandag.ca.gov/development-services).  
Upon request, this information is available in alternate formats for persons with disabilities.  
DS-570 (10-12)

**City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist**

**Section 2. Construction Stormwater BMP Requirements**  
For all projects, complete Part D. If "Yes" is checked for any line in Part D, then continue to Part E.

**Part D. Determine Construction Phase Storm Water Requirements.**  
This prioritization must be completed with this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of the projects both before and during construction. (Note: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by City staff.)

- Is the project subject to California's statewide General Required (GR) Permit for Storm Water Discharges Associated with Construction Activities? (See State Water Resources Control Board Order No. 2000-0002-DM) for rules on enforcement?  Yes  No
- Does the project propose grading or soil disturbance?  Yes  No
- Would storm water or urban runoff have the potential to contact any portion of the construction area, including washing and staging areas?  Yes  No
- Would the project use any construction materials that could negatively affect water quality if discharged from the site (such as, paints, solvents, concrete, and stone)?  Yes  No
- Check this box if "Yes" is checked for line 1. Continue to Part E.  SWPPP Required
- Check this box if "No" is checked for line 1, and "Yes" is checked for any line 2-4. Continue to Part E.  WPCP Required
- Check this box if "No" is checked for all lines 1-4. Part E does not apply.  No Document Required

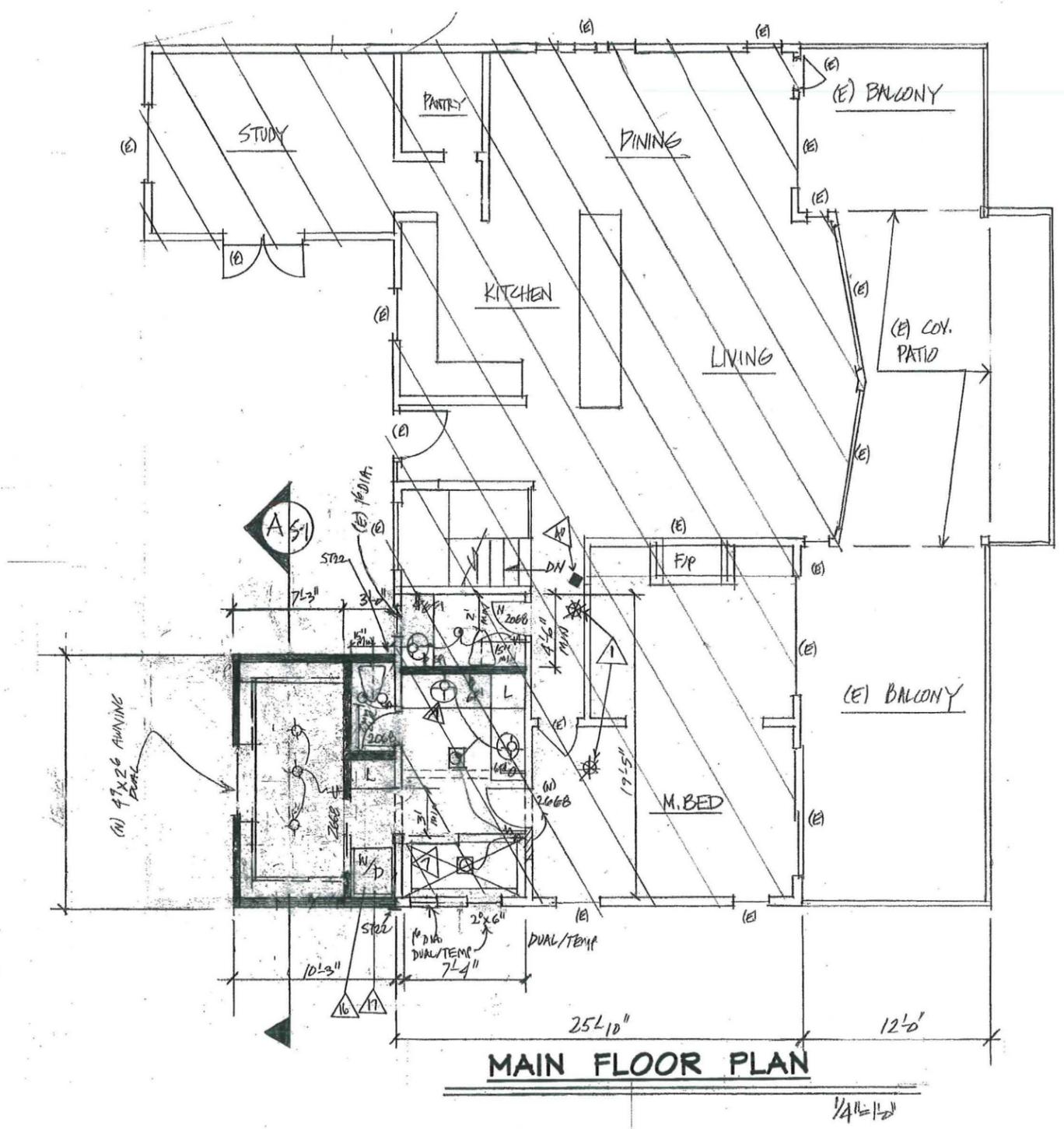
**Part E. Determine Construction Site Priority**  
This prioritization must be completed with this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of the projects both before and during construction. (Note: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by City staff.)

- High Priority
  - Projects where the site is 60 acres or more and grading will occur during the wet season.
  - Projects 1 acre or more and tributary to an impaired water body for sediment (e.g., Petasquitos watershed).
  - Projects 1 acre or more within or directly adjacent to or discharging directly to a coastal lagoon or other receiving water within a Water Quality Sensitive Area.
  - Projects subject to planned grading or advanced treatment requirements.
- Medium Priority. Projects 1 acre or more but not subject to a high priority designation.
- Low Priority. Projects requiring a Water Pollution Control Plan but not subject to a medium or high priority designation.

Name of Owner: **Frank Robinson** Title: **Owner**  
Signature: **[Signature]** Date: **9/17/14**

9/17/14  
dh  
9/22/14  
12/26/14  
Robinson  
A.I.Z.

5/26/14  
12/26/14  
1/19/15

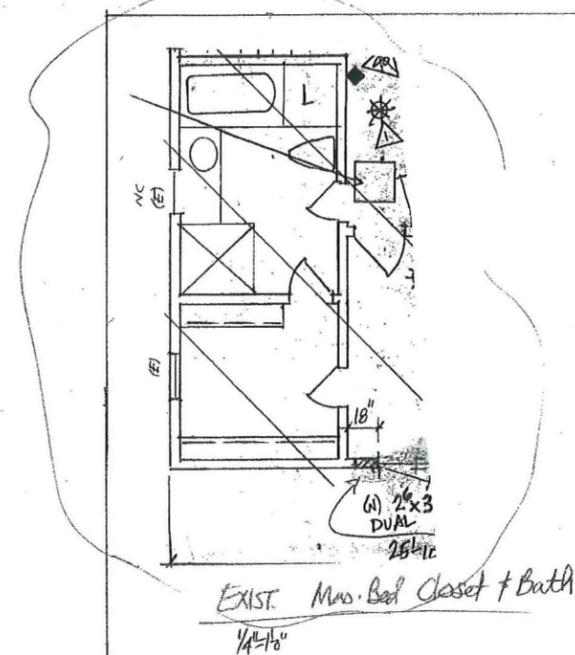


**MAIN FLOOR PLAN**

- TYPICAL ELECTRICAL SYMBOLS LEGEND**
- ⊕ 110 V WALL OUTLET
  - ⊕ 1/2 HOT WALL OUTLET TO SWITCH
  - ⊕ 220 V WALL OUTLET
  - TV TV OUTLET
  - PHONE JACK
  - LIGHT FIXTURE
  - ⊕ LIGHT SWITCH
  - △ MOTION SENSOR LIGHT
  - ◆ CARBON MONOXIDE DETECTOR (SEE NOTE 40 ON GENERAL NOTE SHEET)
  - ⊕ G.F.I. OUTLETS IN KITCHENS, NEAR SINKS, GARAGES
  - (N)=NEW, (E)=EXISTING, (R)=REMOVE OR REMOVAL
  - △ = SEE GENERAL FLOOR PLAN NOTES SHEET
  - FLUSH MOUNTED LIGHT (H-7)
  - ⊕ COMB. EXHAUST FAN & LIGHT (FLUORESCENT)
  - ⊕ PER HOURS 50 CFM
  - ⊕ FLUSH MOUNTED EXHAUST FAN
  - ⊕ SMOKE DET. DEVICE (SEE NOTE 1 ON GENERAL NOTES SHEET)
  - ⊕ G.F.I. GROUND FAULT INTERRUPTER
  - ⊕ FAN / LIGHT FIXTURE
  - ⊕ 3-WAY SWITCH
  - ⊕ SPEAKER IN CEILING

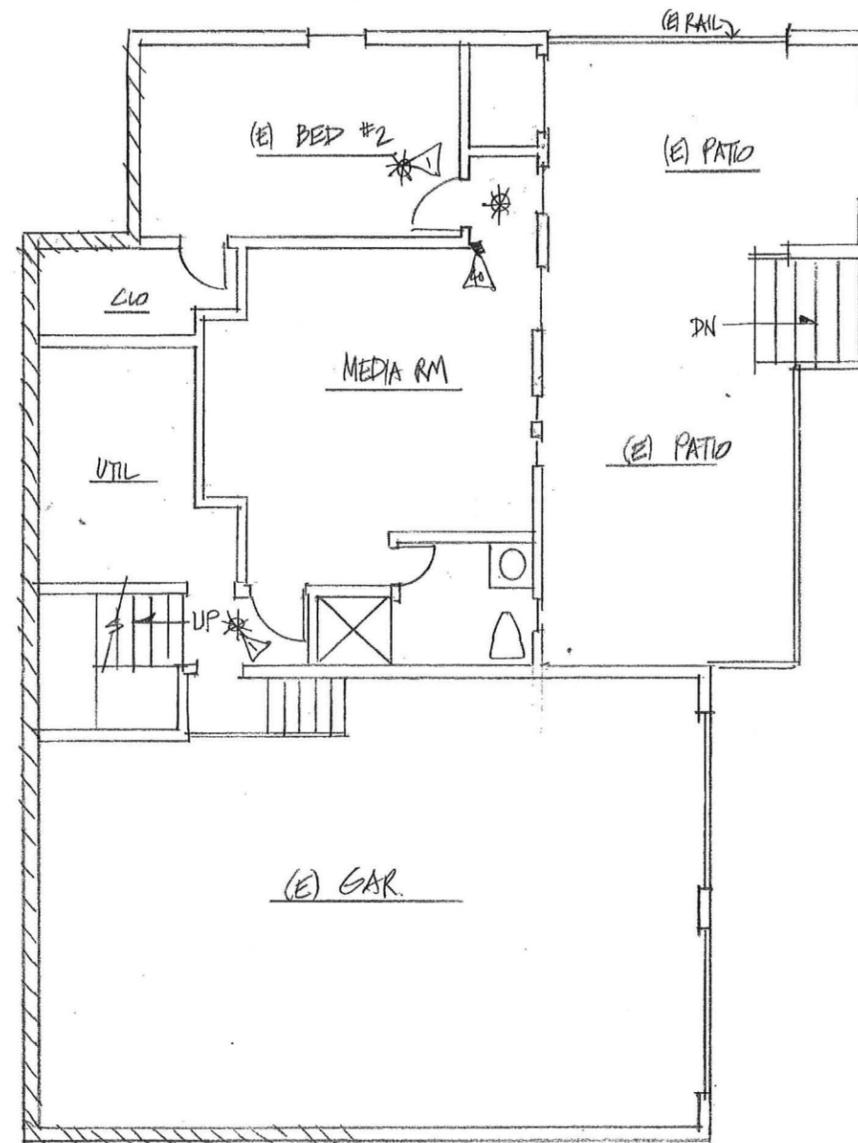
**WALL LEGEND:**

- EXISTING WALLS=====
- NEW WALLS=====
- FILL EXIST. OPENING=====
- EXIST. WALL TO BE REMOVED=====



8/21/13  
dh  
12/26/14

A2



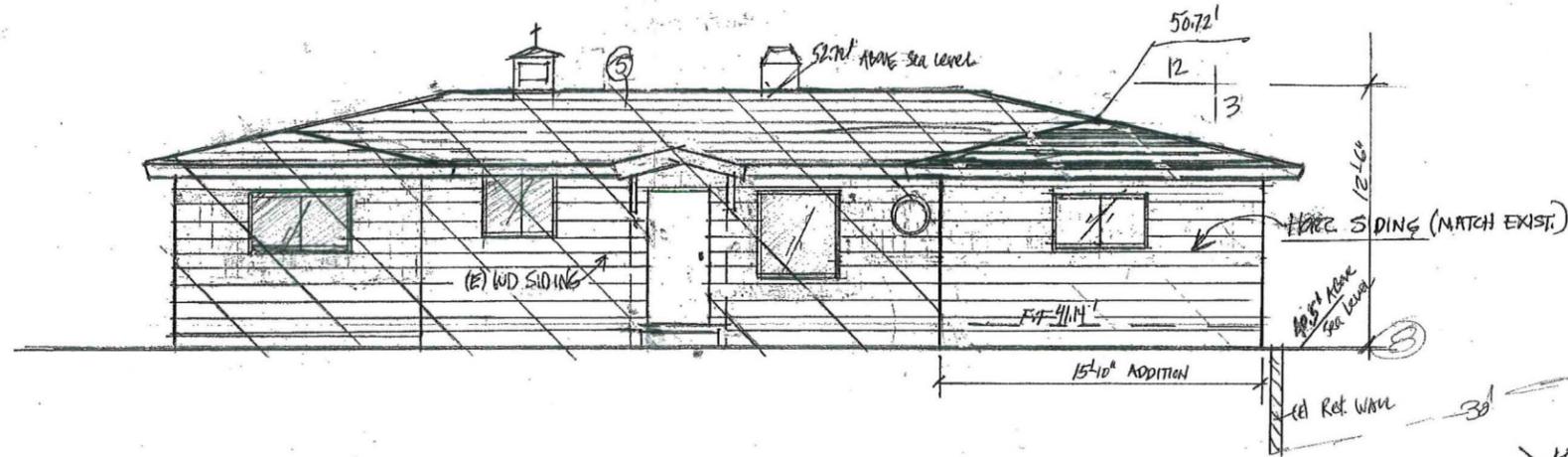
**LOWER FLOOR PLAN**

1/4" = 1'-0"

12/3/13

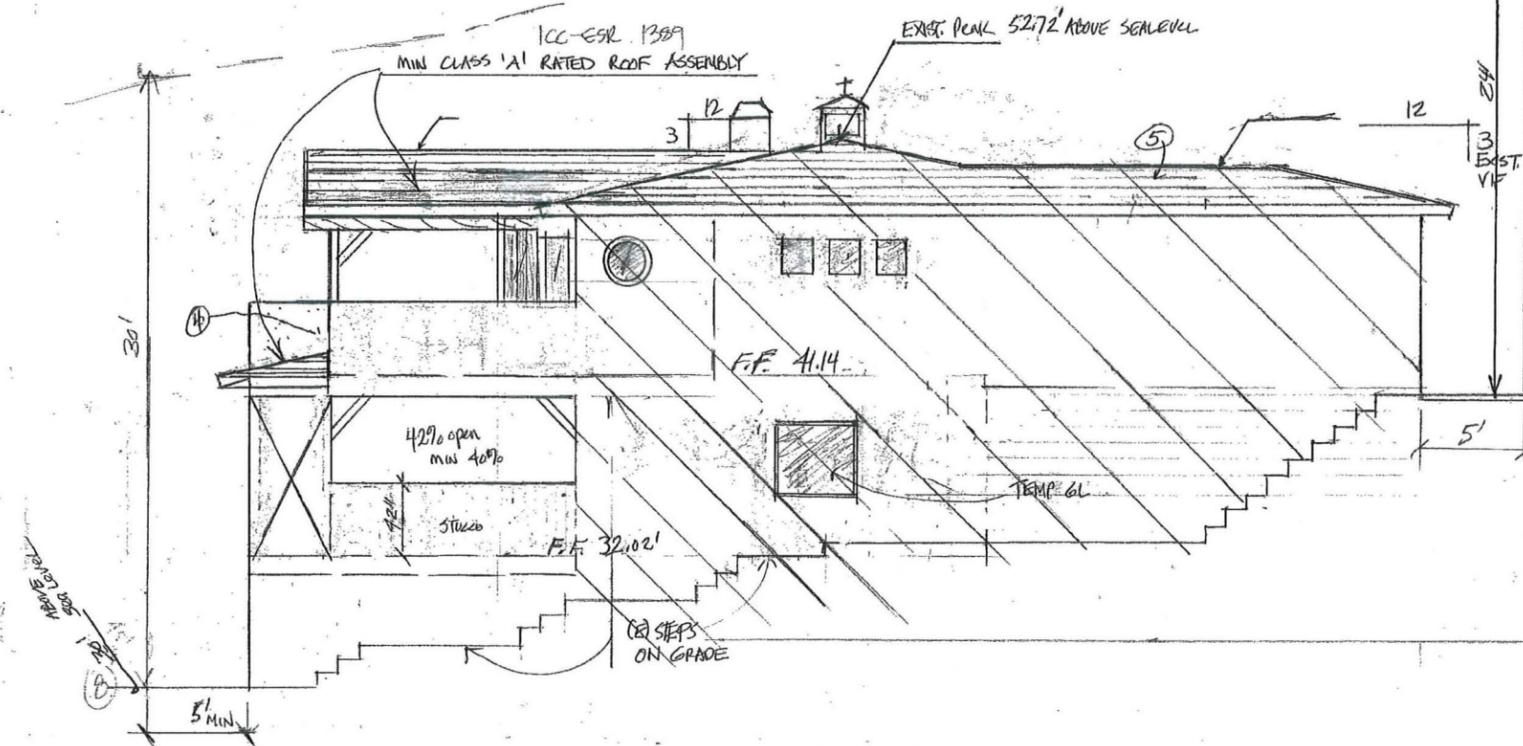
Robinson

A3



**WEST ELEVATION**

SCALE 1/4" = 1'-0"



**NORTH ELEVATION**

1/4" = 1'-0"

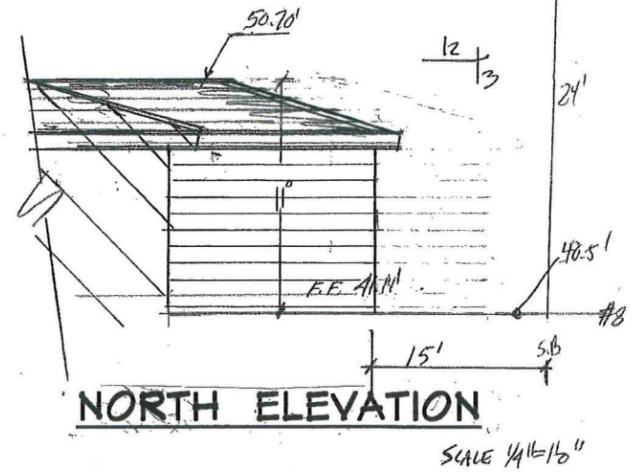
**Item Text**  
 11: Proposition 13: The building is subject to the requirement of Proposition 13 height limitations. Note on plans showing building elevations that "The highest point of the roof, equipment, or any vent, pipe, antenna, or other projection shall not exceed 30 feet above grade". (City of San Diego Ordinance 11333 N.S.). Show building height as determined in accordance with Building Newsletter 2-2 on plans showing building elevations. PLEASE show elevations. If highest point of bid is within 1'-0" of the height limit, then a pre-construction meeting would have to be held; put such note on plans. (New Issue)  
 12: Projections: Projections, such as cornices, eave overhangs, exterior balconies etc. extending beyond the exterior walls, shall have minimum 1 hour fire-resistance rating on the underside. (Tables R302.1(1) or R 302.1(2)). Show and dimension projections on plans showing building elevations or sections. Provide detail at projections. (New Issue)

**EXTERIOR ELEVATION NOTES (IN COASTAL AREA) 11/05/10**

1. IF "THE PROPOSED BUILDING OR ADDITION IS LOCATED WEST OF INTERSTATE HIGHWAY I-5 & NORTH OF LAUREL STREET" ; NOTED ON PLANS "THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE. ORDINANCE #11333 N.S.
2. MEASURE THIRTY FEET FROM ANY POINT OF BUILDING AT 5' OR PROPERTY LINE TO ESTABLISH HEIGHT. SEE BUILDING NEWSLETTERS 2-1, 2-2.
3. ADDITION SHALL MAINTAIN SIMILAR EXTERIOR STYLE, COLORS, MATERIALS TO EXISTING HOUSE. OWNER SHALL BE CONSULTED FOR EXACT STYLE, FINISHES AND MATERIALS.
4. PROVIDE METAL FLASHING AT ALL WALL/ ROOF OR FLOOR CONNECTIONS. VERIFY WITH CONTRACTOR.
5. PITCH OF ROOF SHALL BE VERIFIED IN FIELD. ROOFING MATERIAL SHALL BE MIN. CLASS 'A' RATED ROOF ASSEMBLY.
6. OVERHANGS WITHIN 5' OF PROPERTY LINE ARE NOT EXCEED 1/3 OF SIDEYARD. OVERHANG STYLE SHALL BE CLOSE TO EXISTING. (UNO)
7. IF NEW RAILINGS ARE ADDED, THEY SHALL BE MIN. 42" HEIGHT WITH MAX. OPENINGS OF 4" BETWEEN PICKETS. GUARDWALL SHALL BE SAME HT.
8. LINE OF GRADE IS PRE-EXISTING GRADE. NO CHANGES ARE PROPOSED TO LOT. (UNO)

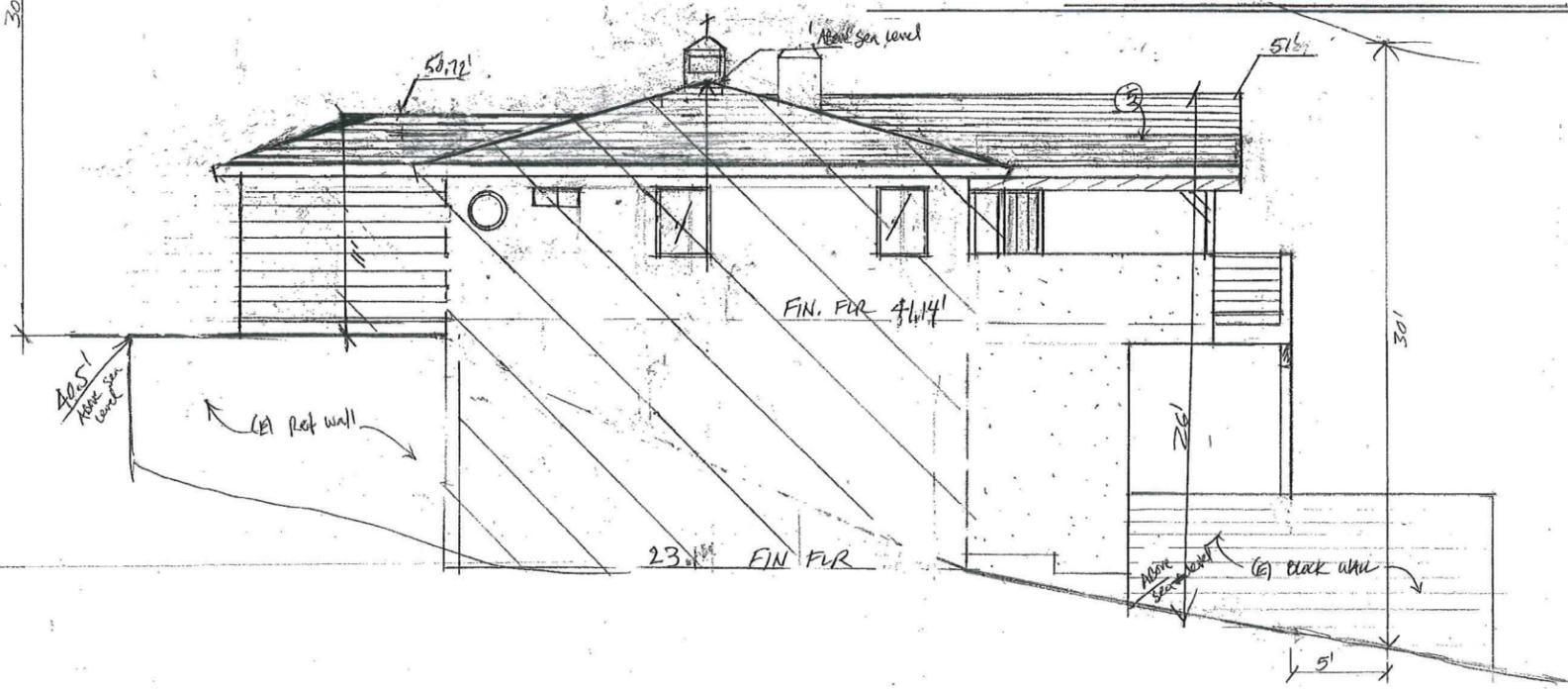
-PROJECT IS LESS HT. THAN EXIST!  
 (REMOVE) EXIST. CHIMNEY.  
 -ADDITION TO MATCH EXIST FINISH, COLOR, & STYLE.

<b>PREPARED BY:</b>	
NAME: DAVID HEDGECOCK	REVISION-11 1/19/15
ADDRESS: 6510 CARTWRIGHT ST	REVISION-10 9/22/14
CITY, STATE SAN DIEGO, CA 92120	REVISION-9 9/17/14
PHONE: 619-255-4673	REVISION-8 5/26/14
PROJECT ADDRESS: 808 SAN ANTONIO PLACE	REVISION-7 2/13/13
SAN DIEGO, CA 92106	REVISION-6 2/11/13
	REVISION-5 1/31/13
<b>OWNER'S NAME: HANK ROBINSON</b>	
MAILING: 808 San Antonio Pl	REVISION-4 1/1/13
SAN DIEGO, CA 92106	REVISION-3 12/16/12
	REVISION-2 12/11/12
	REVISION-1 10/21/12
PHONE: (858) 414-4135	ORIGINAL DATE 6/18/12
SHEET TITLE	SHEET A-5 OF
EXTERIOR ELEVATIONS	DEPOSIT #



1/8" THK STAINLESS STEEL HORIZ CABLE  
4" MAX. BETWEEN OR EQUIV

**EAST ELEVATION**



**SOUTH ELEVATION**

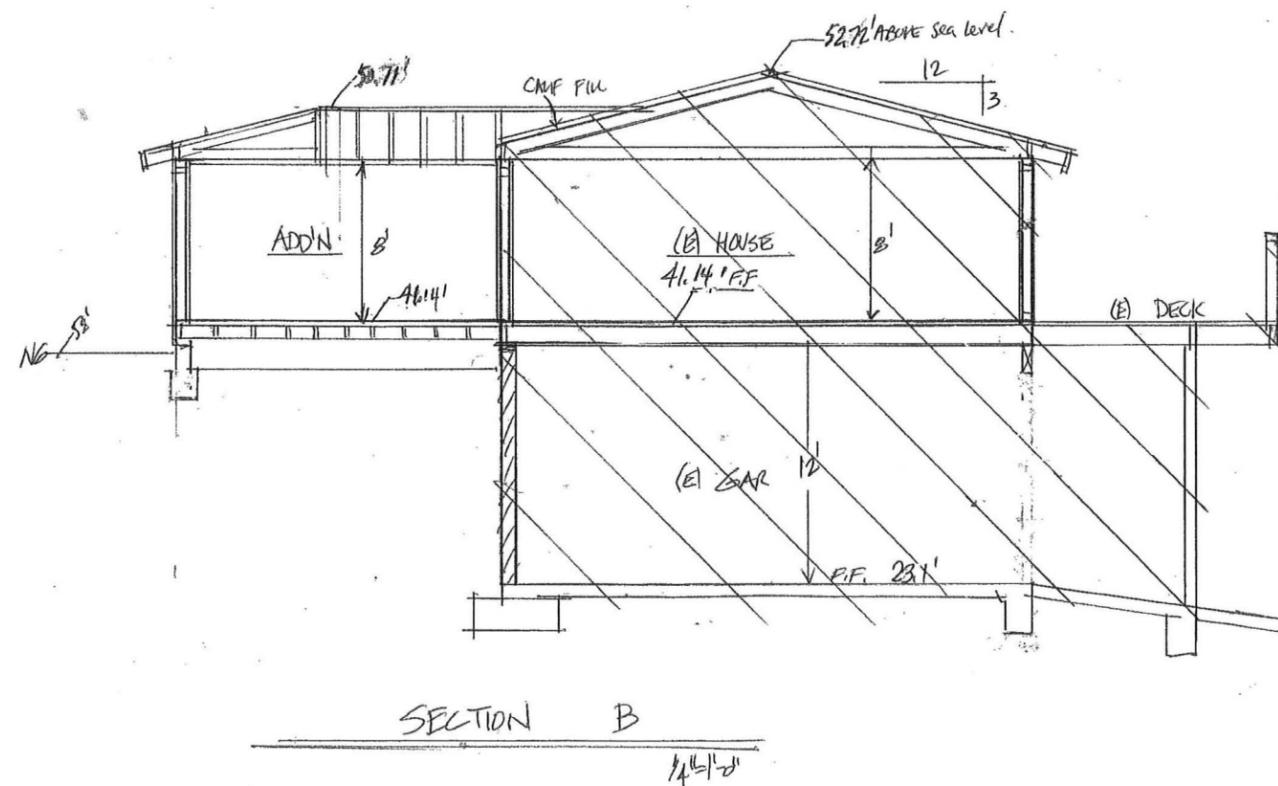
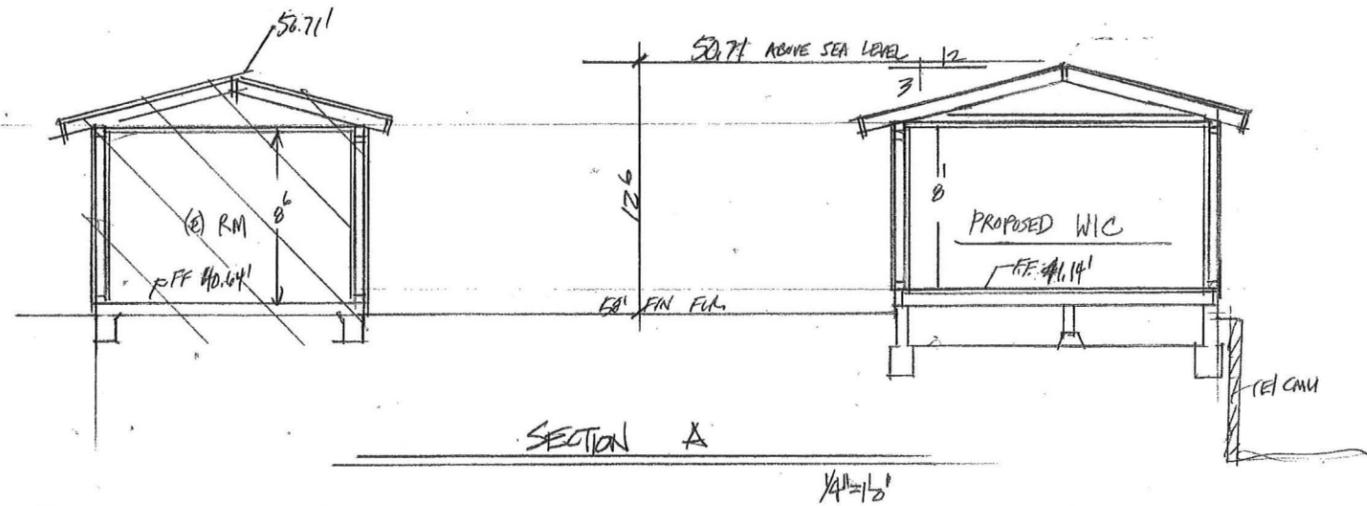
SCALE 1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES (IN COASTAL AREA) 11/05/10**

1. IF "THE PROPOSED BUILDING OR ADDITION IS LOCATED WEST OF INTERSTATE HIGHWAY I-5 & NORTH OF LAUREL STREET"; NOTED ON PLANS "THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE. ORDINANCE #11333 N.S.
2. MEASURE THIRTY FEET FROM ANY POINT OF BUILDING AT 5' OR PROPERTY LINE TO ESTABLISH HEIGHT. SEE BUILDING NEWSLETTERS 2-1, 2-2.
3. ADDITION SHALL MAINTAIN SIMILAR EXTERIOR STYLE, COLORS, MATERIALS TO EXISTING HOUSE. OWNER SHALL BE CONSULTED FOR EXACT STYLE, FINISHES AND MATERIALS.
4. PROVIDE METAL FLASHING AT ALL WALL/ ROOF OR FLOOR CONNECTIONS. VERIFY WITH CONTRACTOR.
5. PITCH OF ROOF SHALL BE VERIFIED IN FIELD. ROOFING MATERIAL SHALL BE MIN. CLASS 'A' RATED ROOF ASSEMBLY.
6. OVERHANGS WITHIN 5' OF PROPERTY LINE ARE NOT EXCEED 1/3 OF SIDEYARD. OVERHANG STYLE SHALL BE CLOSE TO EXISTING. (UNO)
7. IF NEW RAILINGS ARE ADDED, THEY SHALL BE MIN. 42" HEIGHT WITH MAX. OPENINGS OF 4" BETWEEN PICKETS. GUARDWALL SHALL BE SAME HT.
8. LINE OF GRADE IS PRE-EXISTING GRADE. NO CHANGES ARE PROPOSED TO LOT. (UNO)

- HORIZ SIDING @ FRONT ADDITION TO MATCH FRONT OF EXIST. HOUSE, COLOR, STYLE.  
- EXIST. GRADES SHOWN ARE TO CHANGE

<b>PREPARED BY:</b>	
NAME: DAVID HEDGECOCK	REVISION-11
ADDRESS: 6510 CARTWRIGHT ST	REVISION-10
CITY, STATE SAN DIEGO, CA 92120	REVISION-9 11/9/15
PHONE: 619-255-4673	REVISION-8 12/26/14
PROJECT ADDRESS: 808 SAN ANTONIO PLACE	REVISION-7 9/17/14
SAN DIEGO, CA 92106	REVISION-6 5/26/14
	REVISION-5 2/13/13
<b>OWNER'S NAME: HANK ROBINSON</b>	
MAILING: 808 San Antonio Pl	REVISION-4 11/7/13
SAN DIEGO, CA 92106	REVISION-3 12/16/12
	REVISION-2 12/11/12
	REVISION-1 10/19/12
PHONE: (858) 414-4135	ORIGINAL DATE 6/18/12
SHEET TITLE	SHEET A-6 OF
EXTERIOR ELEVATIONS	DEPOSIT #



PLANS BY :	
NAME : DAVID HEDGECOCK	REVISION-11
ADDRESS: 6510 CARTWRIGHT ST	REVISION-10
CITY, STATE SAN DIEGO, CA 92120	REVISION-9
PHONE: 619-255-4673	REVISION-8
PROJECT ADDRESS : 808 SAN ANTONIO PLACE	REVISION-7
SAN DIEGO, CA 92106	REVISION-6
	REVISION-5 9/22/14
OWNER'S NAME : HANK ROBINSON	REVISION -4 9/17/14
MAILING : 808 SAN ANTONIO PL.	REVISION-3 6/5/13
SAN DIEGO, CA 92106	REVISION-2 8/21/13
PHONE : (858) 414-4135	REVISION-1 12/11/12
	ORIGINAL DATE 6/18/12
SHEET TITLE	SHEET A-7 OF
PROFILE (SECTION) PLAN	DEPOSIT #